

# TRAVIS COUNTY ESD 8 CONSTRUCTION MANAGER AT RISK REQUEST FOR PROPOSALS

April 15, 2024

Using the one-step process method, Travis County ESD 8 is requesting Contractors to submit sealed proposals to provide Construction Manager-at-Risk Services for the construction of new addition and remodel of the Fire Station 801 and related site work.

## **I. Definitions and Exhibits:**

A. In this Request for Proposals:

*Construction Phase Services* means the construction phase services of the Contract as generally described in Exhibit "B" except as otherwise agreed to between the TCESD8 and the Contractor.

*Construction Manager* means the entity that will hold the contract for construction services to provide Preconstruction Phase Services and the Construction Phase Services of the Contract.

*Contract* means the proposed contract described in Exhibit B or the contract entered into between the TCESD8 and Contractor for Contractor Services.

*Contractor* means any person or entity that responds to and is evaluated, ranked, selected for negotiations of a contract, or contracted with under this RFP acting as a Construction Manager-at-Risk.

*Contractor Services* means the Preconstruction Phase Services and the Construction Phase Services of the Contract as described in Exhibit B.

*Allowable General Conditions* means the items, as specified in Exhibit E which are allowed to be included in the Contractor's calculation of its costs of supplies, equipment, and services incurred in the administration, support, and oversight of the Project (i.e., overhead) and which are not included as part of the Contractor's cost for construction materials and labor for the Project.

*Guaranteed Maximum Price (GMP)* means the amount determined by adding together: (1) the Contractor's cost of the construction work for the Project; and (2) the Contractor's profit and overhead on the Project.

*Preconstruction Phase Services* means the preconstruction phase services to be provided by Contractor under the Contract as generally described in Exhibit "B".

*Project* means the construction of a new addition and remodel of a fire station with related site work as described herein.

*Proposal* means a Contractor's written response to this RFP.

*RFP* means this Request for Proposals.

B. The following described Exhibits are attached to and are a part of this RFP:

*Exhibit A:* Required Information for Response to RFP.

*Exhibit B:* Description of proposed contract to be executed between the TCESD8 and the Contractor for Preconstruction Phase Services and Construction Phase Services.

*Exhibit C:* Project Concept Design Package.

*Exhibit D:* Not applicable

*Exhibit E:* Allowable General Conditions.

## **II. Project Description**

A. Project Description

TCESD8 is in the process of designing and developing a new Fire Station addition and remodel for the Pedernales Fire Department. The additions and renovations will be located at 801 Bee Creek Road, Spicewood Texas 78669.

The station is being designed for the future and will consist of a 2-level project. Level one will have an additional new bay approximately (965 square feet), a kitchen/day room addition (400 square feet), and an interior renovation (1410 square feet). Level 2 will consist of an office addition space (1200 square feet), interior renovation (540 square feet), and new mezzanine (867 square feet). The total project is approximately 5600 square feet. The station will include administration, new living quarters, updated dorm rooms, and an additional bay with storage. Site work will include removal of existing sidewalks, construction of a new apparatus bay and administrative offices, and other related site improvements.

B. Project Team

TCESD8 has retained FGM Architects Inc. as Architect, whose designated representatives on the Project are Jaime Palomo, AIA and Edgar Zarate, RA. TCESD8 representative is Fire Chief Tony Haden.

C. Contractor Services

The Contractor will provide Preconstruction Services and Construction Services for the Project, as those terms are defined in this RFP. The Contractor will perform the Construction Services under a Guaranteed Maximum Price (GMP) serving as the Construction Manager-at-Risk.

D. Contractor Selection Method

TCESD8 being a governmental entity, is required by State law to follow specific procedures in selecting a Contractor for the Project. For this Project, TCESD8 Committee intends to

select the Contractor by "Construction Manager-at-Risk," as set forth in Texas Government Code chapter 2269, Subchapter F ("Construction Manager-at-Risk Method"). The selection method procedures are described later in this RFP.

### **III. Project Concept Design Package**

The Project Concept Design Package is attached as Exhibit "C".

### **IV. Estimated Budget**

The estimated budget for this project is approximately \$3,000,000.

### **V. Additional Professional Services**

A geotechnical survey and survey will be provided for the use of the Contractor. TCESD8 will contract separately for (1) materials testing services and (2) other independent professional services that may be required for the Project.

### **VI. Pre-Submittal Meeting**

- A. A mandatory pre-submittal meeting will be held at **10:00 AM CST on Monday, April 29 2024.**
- B. Location: 801 Bee Creek Road Spicewood Texas 78669

### **VII. Submitting Proposals**

- A. Sealed Proposals shall be addressed and delivered to Lynnette Courtney Director of Administration 801 Bee Creek Road Spicewood Texas 78669 on or in person at 801 Bee Creek Road Spicewood Texas 78669 by **11:00 AM CST May 15, 2024.**
- B. A formal bid opening will take place at **11:30 AM CST on May 22, 2024.** at the Pedernales Fire Department located at 801 Bee Creek Road, Spicewood, TX 78669.
- C. Proposals shall be submitted, five hard copies and one electronic copy, in sealed envelopes. Sealed envelopes shall be marked in the upper left-hand corner as follows: TCESD8 Station 801 renovation and addition.
- D. **EACH PERSON WISHING TO SUBMIT A PROPOSAL MUST DO SO BY FULLY ANSWERING IN WRITING EACH OF THE QUESTIONS WHICH ARE ATTACHED TO THIS RFP AS EXHIBIT A. FAILURE TO FULLY ANSWER ALL QUESTIONS IS REASON FOR REJECTION OF THE PROPOSAL.**
- E. To enable the District to efficiently evaluate the Proposals, Contractors **MUST** follow the required format in preparing their Proposals. **PROPOSALS THAT DO NOT SUBSTANTIALLY CONFORM TO THE PRESCRIBED FORMAT MAY BE DISQUALIFIED.**

F. Each copy of the Proposal shall be bound using GBC or other semi-permanent binding method, to ensure that pages are not lost. Each copy shall be no more than one-half inch (1/2") thick. Pages shall be no larger than letter-size (8 1/2" by 11") or, if folded to that dimension, twice letter size (11" by 17"). Each section (defined below) shall be separated by a tabbed divider. Elaborate covers, binding, dividers, etc. are NOT required and are discouraged. Each Proposal must be organized in the following order:

1. Outside Cover and/or first page: This shall contain the name of the RFP, ("Request for Proposal for General Contracting Services for the TCESD8 Project").
2. Table of Contents: The next page shall be a table of contents
3. Section 1 Divider: General Company Information and History
4. Section 2 Divider: Project Personnel and Experience
5. Section 3 Divider: Financial Information
6. Section 4 Divider: Safety Program Information
7. Section 5 Divider: Project Narrative, Testimonials and References
8. Section 6 Divider: Fee Quotation
9. Section 7 Divider: Completed Chapter 176 Conflict of Interest Questionnaire

G. Request for Proposal packages may be obtained via e-mail from Lynnette Courtney, Director of Administration at [Lynnette.courtney@pedernaelsfd.org](mailto:Lynnette.courtney@pedernaelsfd.org)

Each Contractor submitting a proposal in response to this RFP agrees to waive any claim it has or may have against TCESD8 or the Architect, for the Project, as specified in this RFP relating to any of the following: the administration, evaluation, or recommendation of any proposal; TCESD8 method, procedures, or process of soliciting or receiving proposals; the acceptance or rejection of any proposal; and the award of the Contract.

### **VIII. Opening of Proposals and Selection Process.**

The following process will be used to enter into a contract with Contractor to provide the Construction Services requested under this RFP:

- A. The Proposals will be reviewed by the TCESD8 Committee **between May 15, 2024 through May 24, 2024.**
- B. TCESD8 Committee will short list and interview 1 or more firms, at TCESD8 Committee's sole discretion, to clarify responses and receive additional information based on Criteria 1 through 6 listed below. The interviews are expected to be on or around **the week of May 27, 2024.** Interviews will focus on the project team, understanding of project scope, Contractor's approach to the project, project schedule, project budget, proposed fees and general conditions and other project related topics deemed appropriate by the TCESD8 Committee.

C. TCESD8 Committee will review and rank each Proposal in relation to the following selection criteria and the weighted value given to each criteria:

<u>Selection Criteria</u>	<u>Weighted Value</u>
1. General Company Information and History	10 Points
2. Project Personnel and Experience	25 Points
3. Financial Information	15 Points
4. Safety	10 Points
5. Narrative, Testimonials and References	5 Points
6. Fee Quotation	15 Points
<b>Total of Weighted Value for Short List</b>	<b>80 Points</b>

7. Interview of Short-Listed Firms	20 Points
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D. TCESD8 Committee shall select the Proposal that offers the best value for the TCESD8 based on the selection criteria above and its ranking evaluation.

E. TCESD8 Committee will meet with the highest ranked short-listed Contractor based on interviews to clarify any questions regarding the Proposal. TCESD8 Committee, or a designated subcommittee of the Committee, will negotiate the final terms and conditions of the Contract for Contractor Services with the top ranked Contractor submitting a Proposal.

F. If negotiations fail, TCESD8 Committee's representatives will attempt to negotiate the Contract with the next ranked firm, and so on until the Contract is negotiated or all rejected. If the Contract is successfully negotiated, the Contract will be submitted to the TCESD8 's Committee for approval.

G. Within seven days after TCESD8 Committee approves the Contract, TCESD8 will document the basis for the selection and make the evaluation public.

H. TCESD8 reserves the right to reject any and all bids. The District further reserves the right to reject any finalist.

I. The District reserves the right to waive technical mistakes, informalities, and irregularities in any Proposals received.

**IX. Questions**

Please address your questions concerning this RFP: **Edgar Zarate, RA** at [edgarzarate@fgmarchitects.com](mailto:edgarzarate@fgmarchitects.com) or **Lynnette Courtney** at [lynnette.courtney@pedernalersfd.org](mailto:lynnette.courtney@pedernalersfd.org) no later than **4:00 PM CST Monday, May 13, 2024**.

#### **X. Legal Requirements**

- A. This project will require the selected construction manager-at-risk to secure a Payment Bond and a Performance Bond as required by Texas Government Code chapter 2253. Both bonds must be for the full GMP, or if the GMP has not been established, in the amount of the construction budget of the project.
- B. This project will require the selected construction manager-at-risk to obtain and maintain several types of insurance coverage, including worker's compensation, general liability and umbrella liability policies, in amounts approved by the TCESD8 Committee and as contained in the construction documents.
- C. The project is subject to the Texas Prevailing Wage Act – Texas Government Code chapter 2258.
- D. The requirements of Subchapter J, Chapter [552](#), Government Code, may apply to this bid and the Contractor agrees that the contract can be terminated if the Contractor knowingly or intentionally fails to comply with a requirement of that subchapter.
- E. Pursuant to Section 176.006, a Contractor (any person, business entity, or their agent) who enters or seeks to enter into a contract with the District, whether they are successful or not, for the sale or purchase of real property, goods or services, must file a "Conflict of Interest Questionnaire" with the Director of Administration if the vendor has a family, employment, or other business relationship with a local government officer of the District, or has given a local government officer of the District or family member of the officer one or more gifts totaling more than \$100 in the previous twelve (12) months. A list of the local Board Members can be found at [www.tcesd8.org](http://www.tcesd8.org).

## EXHIBIT A

**EACH CONTRACTOR SUBMITTING A PROPOSAL MUST FULLY ANSWER IN WRITING EACH OF THE QUESTIONS. FAILURE TO FULLY ANSWER ANY QUESTION OR COMPLY WITH THE INSTRUCTIONS IS REASON FOR DISQUALIFICATION OF THE PROPOSAL.**

### **A. General Company Information and History (10 Points)**

1. General History
  - 1.1 How many years has your organization been in business under its present business name?
    - 1.1.1 Under what other or former names has your organization operated?
  - 1.2 If your organization is a corporation, please provide the following:
    - 1.2.1 Date of incorporation;
    - 1.2.2 State of incorporation;
    - 1.2.3 President's name;
  - 1.3 If your organization is a partnership, please provide the following:
    - 1.3.1 Date of organization;
    - 1.3.2 Type of partnership (if applicable);
    - 1.3.3 Names of all partners.
  - 1.4 If your organization is individually owned, please provide the following:
    - 1.4.1 Date of organization
    - 1.4.2 Name of owner
  - 1.5 If the form of your organization is other than those listed above, please describe it and name all principals, partners, officers and/or owners.
  - 1.6 What is the location of your organization's corporate office, that being defined as the office where the person or persons owning a majority interest in the company spend the majority of their work week?

1.7 What is the address of your organization's local office that will be managing the work?

2. Licensing

2.1 Please provide a list of jurisdictions and trade categories in which your organization is legally qualified to do business, and indicate registration or license numbers, if applicable.

2.2 Please provide a list of jurisdictions in which your organization, partnership or trade name is filed.

3. Experience

3.1 Please provide a list of the categories of work that your organization normally performs with its own forces.

3.2 Claims and Suits. (If the answer to any of the questions below is yes, please provide details.)

3.2.1 Has your organization ever failed to complete any work awarded to it?

3.2.2 Please describe any judgments, claims, litigation, arbitration or mediation proceedings or suits pending, outstanding or closed against your organization or its officers within the last ten (10) years.

3.2.3 Please describe any lawsuits, requested arbitration or mediation with regard to construction contracts your firm may have filed within the last ten (10) years.

3.2.4 Please describe any outstanding unresolved claims.

3.3 Within the last ten (10) years, has any officer or principal of your organization ever been an officer or principal of another organization when it failed to complete a construction contract. *(If the answer is yes, please attach details.)*

3.4 Please state annual amount of construction work performed by this organization for each of the past five (5) years.

3.5 Describe the major construction projects your organization has completed in the past five (5) years, giving the name and location of project, owner, architect, original and final contract amount, scheduled and actual date of



completion and percentage of the cost of the work performed with your own forces.

- 3.6 Describe the major construction projects your organization has in progress, giving the name and location of project, owner, architect, staff assigned to the projects, construction contract amount, percentage complete and scheduled completion date.
- 3.9 Has any officer or principal of your organization ever been indicted or convicted of a felony? *(If the answer is yes, please attach details.)*

**B. Project Personnel and Experience (25 Points)**

1. Personnel

- 1.1. Please provide an organizational chart that identifies, in detail, (1) key project personnel including project executive, project manager, assistant project manager(s), estimator, project superintendent and assistant superintendent(s) and (2) other company personnel that support the key project personnel. For key project personnel, indicate on or off site and what percentage of time you anticipate each person will devote to this project once construction begins.
- 1.2. Please provide resumes for key project personnel and include information regarding:
  - 1.2.1. Work History (by company), in reverse chronological order.
  - 1.2.2. Project experience, in reverse chronological order. Please list project name, contract amount, type and size of facility, owner, architect, engineer and capacity or position the key person served. Please note if the project was bid or negotiated.
  - 1.2.3. Education
  - 1.2.4. Please describe how your firm intends to maintain continuity between pre-construction and construction services.

2. Experience

- 2.1. Describe the experience of proposed key personnel with public safety stations over the last five (5) years. Note role proposed key personnel performed with listed projects and whether the project was negotiated or bid.

- 2.2. Describe the experience of proposed key personnel working together on prior projects.
- 2.3. Describe your organization's concepts for working in a team relationship with the Owner and Architect during the design and construction of major projects. State why you believe your team is best qualified to address the issues which are relevant to this project.
- 2.4. Briefly describe the methods and systems you will use to control the project in areas such as schedule, budget, information tracking and reporting, safety and quality.
- 2.5. Will your firm make all cost information available during design and construction available to the owner and architect?
- 2.6. Is your firm willing to sign a contract in which you guarantee a maximum price (GMP)?
- 2.7 Has any of your proposed team members ever been indicted or convicted of a felony? *(If the answer is yes, please attach details.)*

**C. Financial (15 Points)**

1. Financial statement

- 1.1 Please provide a current financial statement, preferably audited, including your organization's latest balance sheet and income statement indicating the following information. This information will be kept confidential by the District if each page of the financial statement is clearly marked "confidential".
  - Current Assets (e.g., cash, joint venture accounts, accounts receivable, notes receivable, accrued income, deposits, materials inventory and prepaid expenses);
  - Net Fixed Assets;
  - Other Assets;
  - Current Liabilities (e.g., accounts payable, notes payable, accrued expenses, provision for income taxes, advances, accrued salaries and accrued payroll taxes);
  - Other Liabilities (e.g., capital, capital stock, authorized and outstanding shares par values, earned surplus and retained earnings.)

- 1.2 Please provide name and address of firm preparing attached financial statement, and date thereof.
  - 1.3 Please confirm that the included financial statement is for the organization named on page one. If it is not, please explain the relationship and financial responsibility of the organization whose financial statement is provided (e.g., parent-subsiary).
  - 1.4 Please indicate if the organization whose financial statement is attached will act as guarantor of the contract for construction.
2. Surety:
- 2.1 Please provide name of bonding company.
  - 2.2 Please provide name and address of agent.
  - 2.3 Please provide maximum bond amount available at this time.
  - 2.4 Please provide your bond premium rate.
3. Insurance
- 3.1 Please provide name of insurance carrier or carriers.
  - 3.2 Please provide name and address of agent.
    - 3.2.1 Please provide a Certificate of Insurance for all coverages.
  - 3.3 Please provide total amount of excess liability insurance coverage in place.
  - 3.4 Please provide your general liability insurance rate.

**D. Safety (10 Points)**

1. Describe, in detail, your safety program.
2. Please provide the name of your safety officer, contact information, resume and location at which they office.
3. Identify any violations of OSHA regulations your company has been found guilty of by OSHA within the past 10 years.

**E. Narrative, Testimonial and References (5 Points)**

1. Narrative

1.1 The Respondent shall provide, in 2000 words or less and on four (4) pages or less, a narrative that indicates their understanding of the Owner's needs, their knowledge of the elements involved in the project and the resources, methodologies and management philosophies that would be used for the project. Elements of the project construction such as timely scheduling, cost control, quality control and inspections, construction operations, logistics, and site safety should be addressed. The narrative should be concluded with a summary of the major features of their RFP and a statement analyzing the match between the Respondent's capabilities and the Owner's needs.

2. Testimonials

2.1 Respondents may include up to three (3) one-page letters from public owners (professional references) that they have worked with on previous projects. Letters should comment on budget and/or scheduling experiences and qualitative matters related to services received from the contractor or joint venture participants.

3. References

3.1 Respondents may include other references from owners, architects and/or engineers that they have worked with on other projects.

4. Remarks

4.1 The Respondent may include up to two pages to address those issues which do not fall into any of the above categories or to expand on previous answers.

**F. Fee Quotation and Contract Terms and Conditions (15 Points)**

1. Preconstruction Phase Services Fee – provide the not-to exceed cost of performing Preconstruction Phase Services (design phase) in accordance with the proposed contract and the stated schedule. Include all associated costs such as travel, printing, consultant fees, general overhead, office supplies, etc.

2. Construction Phase Services Fee – indicate your fee (overhead and profit) stated as a percentage cost of the work, for providing Construction Phase Services in accordance with the proposed contract, the stated schedule, and any other terms, conditions, or qualifications that apply to the fee. If you charge a different fee for change orders, indicate what fee you charge (overhead and profit) for change orders as a percentage of the cost of the work to be performed under the change order or any other terms, condition, or qualifications that apply to the fee for change orders.
3. State any exceptions, qualifications, or revisions you would propose to a proposed contract based on AIA Document A133.
4. The costs of the Allowable General Conditions shall be negotiated in conjunction with the compilation of the Guaranteed Maximum Price. Allowable General Conditions are listed in Exhibit “E”.

**EXHIBIT B**  
**PROPOSED CONTRACT**

The proposed contract that will be offered to the successful Contractor will be based on the AIA Documents A133 2009 and B101-2017, as edited for governmental purposes, for both preconstruction and construction services. The final terms and conditions will be negotiated between the District and the successful Contractor.

# FGM ARCHITECTS

City of Spicewood, TX  
Pedernales Fire Station #8 Expansion  
FGM #23-3739.01

December 15, 2023

## **PRELIMINARY SD OUTLINE SPECIFICATIONS**

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The following are general guidelines that will provide the intent for typical parameters and components for specific public safety areas and products to be integrated into the design.

### **APPLICABLE BUILDING CODES**

- 2015 International Building Code (IBC)
- 2015 International Energy Conservation Code (IECC)
- 2014 National Electrical Code (NEC)
- 2015 International Plumbing Code (IPC)
- 2015 International Mechanical Code (IMC)
- 2015 International Fuel Gas Code (IFGC)

### **DIVISION 3 – CONCRETE**

- Foundations: Cast-in place concrete footings and foundation walls, Lower level cast-in-place concrete slab on grade over granular fill and welded wire fabric, minimum 5" typical thickness throughout, vapor barrier beneath slab; main level, concrete columns. REFER TO STRUCTURAL SPECIFICATIONS

### **DIVISION 4 – MASONRY**

- Exterior: 4" Split face CMU veneer to match existing
- Cast Stone sills and wall cap to match existing

### **DIVISION 5 – METALS**

- Interior catwalks & guardrails
- Interior & Exterior metal stud partitions/walls.
- Metal columns at mezzanine
- Metal deck and steel floor joist at mezzanine floor.
- Roof framing; refer to structural
- Refer to Structural Narrative

### **DIVISION 6 – WOOD, PLASTICS AND COMPOSITES**

- MDF with wood veneer Cabinets new Kitchen & Dorms
- Solid Surface Quartz counter in new Kitchen

### **DIVISION 7 – THERMAL INSULATION AND PROTECTION**

- 2" Rigid Insulation for exterior walls.
- Roof insulation

- Metal Panel Roofing
- Acoustic Batt Insulation
- Fluid applied Damp proofing
- Prefinished metal fascia
- Prefinished metal gutters & downspouts
- EIFS at level 2 addition.
- Metal wall panels at new Bay to match existing.

#### **DIVISION 8 – OPENINGS**

- Interior Doors: Solid core wood veneer doors finish to match existing, hollow metal door frames, UL rated doors per code.
- Exterior Doors: hollow metal hot dip galvanized door with painted finish, hollow metal doors & frames for CMU coursing.
- Door Hardware: mortise locksets and closers, complete key system, closers on doors along fire separation lines, panic hardware for rated doors, weather stripping and thresholds at all exterior doors, stainless steel hardware finish, sound seals at Dorms.
- Exterior Insulated overhead sectional door, match existing.
- Aluminum SF window system with 1" low-E glazing, to match existing.

#### **DIVISION 9 – FINISHES**

- Ceilings: 2x2 acoustical ceiling tile per RCP – standard NRC; 2x2x1.5 acoustical ceiling tile to match existing – high NRC.
- Minimum 9' to 10' ceiling heights
- Flooring: walk-off mat at entries, VCT to match existing.
- Painting: water-based high-performance epoxy paint at all interior walls
- All hollow metal doors and hollow metal frames to be painted, (3) coats of finish
- Tile backsplash at new kitchen wet wall.

#### **DIVISION 10 – SPECIALTIES**

- Dorm lockers
- Wall Protection: **Stainless steel corner guards**, impact resistant wall panel or wall covering wall protection
- Painted steel bollards at Overhead door locations

#### **DIVISION 11 – EQUIPMENT**

- Appliances furnished by Owner, installed by Contractor
- Electronic security systems. Integrate addition into existing.

#### **DIVISION 12 – FURNISHINGS**

- Roller Window Shade Treatments: Light-filtering and light-blocking fabrics (where applicable)
- Solid surface window sills and countertops for durability

#### **DIVISION 13 – SPECIAL CONSTRUCTION**

- New Pre-Engineered Metal Building Bay.



**DIVISION 14 – CONVEYING EQUIPMENT**

- None

**DIVISION 21 – FIRE PROTECTION**

- Refer to MEP narrative

**DIVISION 22 - PLUMBING**

- Refer to MEP narrative

**DIVISION 23 – HEATING, VENTILATING AND AIR CONDITIONING**

- Refer to MEP narrative

**DIVISION 26 – ELECTRICAL**

- Refer to MEP narrative

**DIVISION 27 – COMMUNICATIONS**

- Refer to MEP narrative

**DIVISION 28 – ELECTRONIC SAFETY AND SECURITY**

- Refer to MEP narrative

**DIVISION 32 – EXTERIOR IMPROVEMENTS**

- Refer to Civil narrative & drawings

**DIVISION 33 – UTILITIES**

- Refer to Civil narrative & drawings

April 12, 2023

Jaime Palomo, AIA  
FGM Architects Inc.  
3711 South Mopac Expressway  
Bldg. 2, Suite 150  
Austin, TX 78746

**RE: Travis County Emergency Services District No. 8 Addition  
801 Bee Creek Rd.  
Briarcliff, Texas**

Job #20236789

Dear Jaime:

This is a structural narrative on the addition and renovation of the above referenced Fire Station building. The current building is a two-story pre-engineered steel and concrete structure with a slab on grade foundation. The site is located on a shallow limestone soil formation that was partially cut to allow for the two-story structure. The main floor is the second floor with the lower level serving as equipment bays, living quarters and kitchen. The upper levels serve as administrative training and office spaces.

The renovation and addition will expand the lower level to have an additional equipment bay and additional space in the kitchen/entertainment area. The upper floor will expand at the current entry area to add offices and the upper open space of the apparatus bay will allow for additional mezzanine space for storage and an open mezzanine over the expanded apparatus bay. A bid-alternate will include additional offices and new conference room.

### Foundations

The anticipated foundation design will be very similar to the existing foundation design. The additional bay slab will consist of a 6" concrete slab with #4 reinforcing at 8" o.c. There will be a perimeter grade beam 16"x24" deep with 3-#5 cont. top and bottom and #3 stirrups spaced at 12" o.c. There will be three transverse beams approximately 16 feet long with the same beam specifications noted above. The slab will be placed on a minimum of 12" of compacted structural fill consisting of low PI crushed limestone aggregate and screenings with fines. The addition at the lower kitchen will consist of a 5" slab on grade with #4 @ 16" o.c. and perimeter beam of 12"x24" with 2-#5 continuous top and bottom and #3 ties @ 24" o.c. We anticipate one transverse beam of 12 foot long with the same grade beam specs noted above. The upper slab expansion will be very similar to the foundation design noted for the lower kitchen foundation with fill with a 5" slab on grade with #4 @ 16" o.c. and perimeter beam of 12"x24" with 2-#5 continuous top and bottom and #3 ties @ 24" o.c. We anticipate two transverse beams for the base bid with a 28 foot and a 20 foot grade beam with the same specs as the beam noted above.

Mezzanine Floor Framing

The mezzanine floor framing will consist of structural steel framing consisting of steel HSS 4x4 columns with 12" deep Wide flange beams and 10" Wide flange joists spaced at 5 feet on center. The deck will consist of a 4" total depth concrete on steel form deck consisting of 1 1/2" 22 gauge composite VL deck. The concrete will be reinforced with 6x6 W1.4xW1.4 wwm.

Exterior Walls

Exterior walls at the apparatus bay will consist of 8" CMU reinforced with #5 vertical reinforcing spaced at 24" o.c. with standard horizontal joint reinforcing spaced at 16" o.c. All cells of the reinforcing shall be grouted with continuous low wall bond beams spaced at 8' o.c. vertically. Exterior walls for the second level addition will be 8" CMU with #4 vertical reinforcing spaced at 24" o.c. with standard horizontal joint reinforcing at 16" o.c. All cells in the CMU wall shall be grouted.

The exterior walls for the lower level kitchen addition shall be 18 gauge 6" type C studs spaced at 16" o.c.

Roof Framing

The roof framing for the apparatus bay shall be pre-engineered roof purlins to be spaced as specified by the pre-engineered building manufacturer.

The framing for the lower kitchen addition and the upper office addition will consist of HSS 4X4 columns with 12" deep wide flange beams. Spanning between the beams will be 16 gauge 8" roof rafters/joists spaced at 24" o.c.. The roof deck will be 22 gauge 1 1/2" Type B roof deck attached to the framing with #10 tek screws spaced at minimum 12" o.c. The Architect will specify the standing seam roofing material.

Wall Sheathing

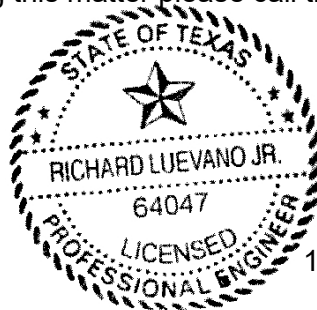
The wall sheathing for the lower level kitchen addition will be OSB or Gypsum moisture resistant material with structural shear properties. Sheathing shall be screwed to metal studs with minimum #10 tek screws @ 6" o.c.

Should any questions arise concerning this matter please call this office.

Sincerely,



Richard Luevano, Jr., P.E.  
Partner  
Steinman Luevano Structures, LLP  
F-1624



12-12-2023



**Pedernales Fire Station 801  
801 Bee Creek Rd  
Spicewood, Texas 78669**

**MEP Design Narrative**

**December 15, 2023**

## **Introduction**

The following report is to serve as a description of the existing MEP systems and scope requirements for the at the additions and renovations to the Pedernales Fire Station #801.

Existing drawings available of the building include:

- Feb. 29, 2008 Original Construction Drawings, "A New Station For TCESD #8" that are signed and sealed May 1, 2008.

A facility site walk-through was completed on August 16, 2023.

Refer to the associated architectural schematic design drawings for the intended overall project scope.

## **General**

The existing building is constructed on two levels and has a sloped metal roof. The first level consists of the apparatus bays, personnel dorms, kitchen, and showers. The second level consists of offices, the main kitchen, training room, and storage/mezzanine.

The general base scope of the project on the 1<sup>st</sup> level is to add an apparatus bay to the garage area with a new storage mezzanine, expand the dayroom and personnel kitchen area and subdivide the dorm rooms to create more sleeping accommodations.

The general base scope of the project on the 2<sup>nd</sup> level is to change a portion of the mezzanine into a flex/conference room, and build an addition to provide 4 more offices. There is a proposed bid alternate to increase the size of the addition so that six additional offices and a conference room are provided.

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## Mechanical

### Codes and Design Standards

The mechanical design at this campus will follow all applicable design codes and standards, including the 2015 International Building Code, 2015 International Mechanical Code, 2015 International Energy Conservation Code.

### Mechanical Design Conditions

To complete the design phase of this project, Agnew Associates will complete base heating and cooling load calculations for the main campus to size and select required equipment. All calculations will use the ASHRAE published designed conditions of 26°F for the winter heating load calculation and 99.2°F / 74.5°F (DB / MCWB) for the summer cooling load calculation.

### Mechanical System Overview

The HVAC system for the current facility is comprised of:

- Five Conventional Split System Air Conditioning units:
  - CU-1, IU-1 – 2.5 Ton - Serves Dorm Rooms
  - CU-2, IU-2 – 3 Ton - Serves Kitchen/Offices
  - CU-3, IU-3 – 2 Ton - Serves 2<sup>nd</sup> Floor Restrooms
  - CU-4, IU-4 – 5 Ton - Serves 2<sup>nd</sup> Floor Offices
  - CU-5, IU-5 – 4 Ton - Serves 2<sup>nd</sup> Floor Training Room
- Two Mini-split type condensers and associated wall units:
  - CU-6, IU-6 – 2 Tons - Serves Exercise/Equip Storage Room
  - CU-7, IU-7 – 2 Tons – Serves Mezzanine
- Exhaust for each restroom and janitor's closet is through independent ceiling type exhaust fans.
- Propane unit heaters are installed for the garage bays. Propane is also used for the water heater, kitchen range, and the emergency generator.

The existing systems are approximately 14 years old and use R-22 for refrigerant. They are nearing the end of their expected life, but have been maintained and are currently operational.

### Mechanical Systems – Base Bid

Under the base bid expansion, the three existing split systems on the second floor may remain as installed because the expansion does not overlap the existing condensing pad; however, the two split systems on the first floor will have to be replaced and increased in capacity. It was discussed onsite that the firefighters desire and need lower space temperatures when coming back from calls to recuperate and the current systems are often maxed to maintain 72°F.

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These are the recommended mechanical scope items or Base Bid:

1. Replace CU/IU-1 with a new 3.5-ton split system.
2. Replace CU/IU-2 with a new 5-ton split system.
3. Install new CU/IU for the office addition on the 2<sup>nd</sup> level (approx. 3-ton)
4. Install new mini-split heat pump systems for new Storage 224A, Storage 223, Flex Rm 222, and Storage 113. Plan for approximately 1.5 tons ductless fan coils for each of the four spaces.
5. Install propane unit heater for the new apparatus bay to match existing bays.
6. Install new kitchen hood over cooking range. Type 1 hood is typically required for commercial construction, but Fire Marshall may allow this to be considered a residential installation and allow the use of residential hoods as have been installed on the 2<sup>nd</sup> level.

For the new split systems, it is recommended to consider using Lennox Heat Pumps with EDA coils to provide a means of active dehumidification control. Currently the split systems are installed with direct outside air coming to the systems. In periods of mild conditions with high humidity, this will result in high indoor humidity because there is no means of active dehumidification control. This may be an issue as well on the 2<sup>nd</sup> level and the project may want to consider replacing the existing units on the 2<sup>nd</sup> level with newer systems with active dehumidification.

Currently the systems are not connected to a building automation system. For base bid, replacement of all A/C thermostats with a web enabled thermostat (similar to Lennox iComfort thermostats) would be recommended.

### **Mechanical Systems – Bid Alternate**

Under the bid alternate, the new office expansion conflicts with the current location of the condensing units and all the condensing units will have to be relocated. Since they are at the end of their expected life, relocation is not a good option and it would be best to consider replacing all the mechanical equipment.

For replacing all the systems, it is recommended to consider using a VRF heat recovery system (LG, Daikin, Mitsubishi) to provide higher efficiencies, reduce the overall electrical capacity required, and accommodate the longer refrigerant line lengths needed for the new condenser equipment pad location. These are the recommended mechanical scope items for Bid Alternate:

1. Install a new 16 ton VRF condenser with new split systems to serve the 1<sup>st</sup> floor areas and the storage areas that need 24/7 temperature control (Re: Figure 1).
  - a. IU-1 (3.5 ton), IU-2 (5 ton) to serve occupied areas.
  - b. Four ductless systems to serve Storage 224A, Storage 223, Flex Rm 222, and Storage 113.
2. Install a new 16 ton VRF condenser with new split systems to serve the 2nd floor areas and spaces that may be shutdown at night.
  - a. IU-3 (2 ton), IU-4 (5 ton), IU-5 (4 ton) will replace existing units
  - b. IU-8 (3 ton), IU-9 (2 ton), and IU-10 (2 ton) will serve the new addition

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3. Install a new 10 ton VRF condenser with two dedicated outside air systems (DOAS) with 1 unit on the 1<sup>st</sup> floor and another on the 2<sup>nd</sup> floor.
4. Install propane unit heater for the new apparatus bay to match existing bays.
5. Install new kitchen hood over cooking range. Type 1 hood is typically required for commercial construction, but Fire Marshall may allow this to be considered a residential installation and allow the use of residential hoods as have been installed on the 2<sup>nd</sup> level.



**Figure 1 – Outdoor Heat Recovery Unit and Indoor Fan Coil Unit (16 tons only requires 1 module)**

Dedicated outside air systems (DOAS), see Figure 2, shall be installed to provide conditioned outside air and meet mechanical code ventilation requirements. Introducing outside air to the space also improves the indoor air quality and offsets cooling loads.

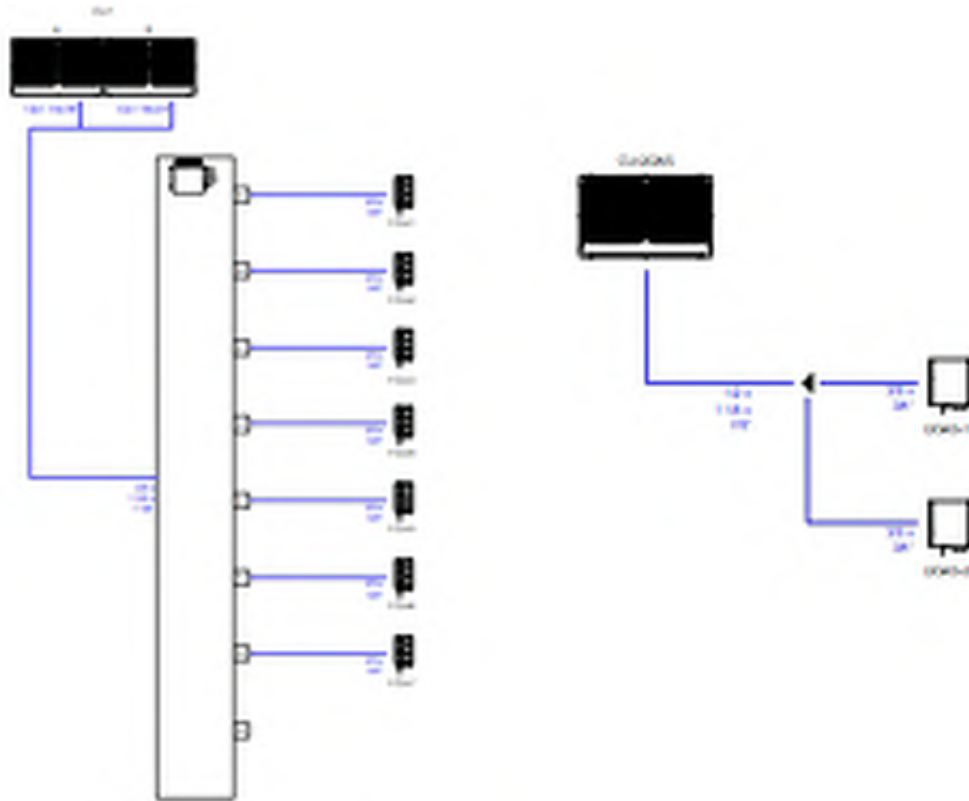


**Figure 2 – Outdoor/Indoor Components for Dedicated Outside Air System (DOAS)**

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**Figure 3 – VRF system piping diagram**

VRF systems are provided with an integral building automation system (BAS). The BAS controls shall be specified with the VRF equipment and shall have a web-based user interface to allow the operators to monitor and schedule the operation of the equipment both on and off-site. The system shall be specified with a BACnet compliant interface to allow future integration into alternative BAS controls.

**Plumbing Scope**

**Codes and Design Standards**

The plumbing design at this campus will follow all applicable design codes and standards, including the 2015 International Building Code, 2015 International Plumbing Code, 2015 International Energy Conservation Code.

**Plumbing Scope**

The relocation of the kitchen on the 1<sup>ST</sup> level will require modification of the waste and water supply lines for the sink, dishwasher, and refrigerator/ice-maker connections. The current waste lines below floor will need to be traced prior to design documents as they do not match the

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construction drawings. The capacity of the water heater will not be affected by the renovation and addition, so the domestic water infrastructure will remain and not require any major changes.

The new apparatus bay will require a new trench drain and connection into the main sanitary sewer line. Installation of waste and sewer on the 1<sup>st</sup> level will require sawcutting and repair of the existing floor and building slab. Coordination with civil and structural will be required for the plumbing scope.

### **Fire Protection**

The fire sprinkler system will have to be extended for coverage of the new additions and the renovated areas shall be modified to provide complete coverage of the new floor plan to meet NFPA 13 requirements.

## **Electrical**

### **Codes and Design Standard**

The electrical design at this campus will follow all applicable design codes and standards, including the 2015 International Building Code, 2014 National Electrical Code, 2015 International Energy Conservation Code (IECC) and 2015 International Fire Code.

### **Electrical Power**

Existing power service entrance to the building is noted as a 600A, 208V 3-phase service. Besides the 600A MDP, there are two double section panels (LH1,2 – 400A and LN1,2 – 225A) providing the main power distribution to the building and an emergency power panel (LE-125A) that provides emergency power from the generator when required for the apparatus garage bay doors, egress and emergency lighting, and some specific office receptacle loads. Based on the original electrical load analysis, there is approximately 293A of available capacity which is sufficient for the new additions.

The panel load of LH shows to be near capacity at 348A. Due to this max existing load on the panel, an electrical meter reading of the panel with a two week duration will be needed to establish diversity if it is going to be utilized for the new mechanical equipment. Alternatively, a new 42 circuit 225A exterior rated panelboard can be installed at the condenser yard to separate the equipment load from panel LH and also serve as a means of disconnect for the mechanical equipment.

### **Lighting**

High efficiency LED lighting will be utilized in all new and renovated interior spaces. The apparatus bay will use high bay fixtures to match existing. All finished interior spaces will use 2x4 or 2x2 troffer fixtures.

A lighting control system equal to Acuity nLight will be specified to meet the daylighting and general use requirements of the spaces in compliance with the 2015 IECC. The lighting control system will utilize occupancy sensors, photocell light sensors, dimming LED drivers and distributed, smart controls and control stations to provide lighting appropriate for all daylight and occupancy conditions.

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Emergency egress lighting will be powered from the emergency generator. Egress lighting will be in compliance with the 2015 International Building Code.

LED light fixtures will be specified for the exterior lighting for the project and tied into the existing exterior lighting controls.

### **Fire Alarm**

It is recommended to replace the existing conventional zoned fire alarm system installed in the building with a new addressable system in compliance with 2015 International Fire Code and National Fire Alarm and Signaling Code. The system shall have a new fire alarm control panel and remote annunciator and addressable strobes and notification devices. The fire alarm system will be initiated by manual fire alarm pull stations, sprinkler system water flow or smoke detection.

This report was prepared by:



Donald Smith, P.E.

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Figure 4 – Existing Condensing Units and Pad



Figure 5 – Propane regulator and line up from buried propane tank.



Figure 6 – Propane Generator



Figure 7 – Transformer

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Figure 8 – Apparatus Bays



Figure 9 – Existing Dayroom



Figure 10 – 1<sup>st</sup> Level Hallway



Figure 11 – Dorm Room Ceiling



Figure 12 – Storage Room Mini-Split



Figure 13 – Back of mezzanine (Dumbwaiter will require removal)





Figure 14 – Water Heater



Figure 15 – Washing Machines and Ice Machine





Figure 16 – Side of building with unknown ground enclosure (ID required)

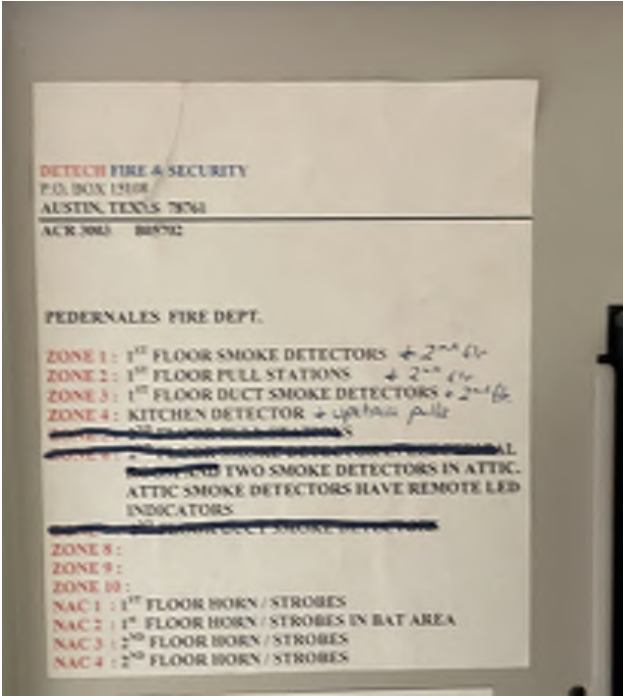


Figure 17 – Fire Alarm Control Panel



Figure 18 – Mezzanine with Mini-Split and Panel LE

DUVALL ELECTRIC					
www.duvallelectric.com					
PANELBOARD SCHEDULE					
Travis County ISD NO. 8 - Pedernales Fire Station					
Panel No.	Feed From	MDF	Voltage/Phase	120/208 1P	
C/N	C/B	Description	PH	Description	C/B C/N
1	201	Range, 202 to 205	A	Bay Door 1	20/1 2
3	201	Lights Corridor 202	B	Bay Door 2	20/1 4
5	201	Receipt, 204 to 205	C	Bay Door 3	20/1 6
7	201	Lights Corridor 211	A	Bay Door 4	20/1 8
9	201	Training	A		
11	201	Space	B	Lights Apparatus Bay	20/1 10
13	201	GFI/AC Units	C	Lights Apparatus Bay	20/1 12
15	201	Spurs	A	Cord Drop	20/1 14
17	201	Spurs	B	Cord Drop	20/1 16
19	201	Spurs	C	Cord Drop	20/1 18
21	201	1st Floor Emergency Lights	A	Space	20/1 20
23	201	Radio Station	B	Space	20/1 22
25	201	Emergency, 106	C	Space	20/1 24
27	201	Emergency Lights Junction to Garage	A	Space	20/1 26
29	201	Fire, Space Panel	B	Space	20/1 28
31	201	Space	C	Space	20/1 30
33	201	Space	A	Space	20/1 32
35	201	Space	B	Space	20/1 34
37	201	Space	C	Space	20/1 36
39	201	Space	A	Space	20/1 38
41	201	Space	B	Space	20/1 40
43	201	Space	C	Space	20/1 42

Figure 19 – Panel LE Directory



Figure 20 – Mezzanine showing dumbwaiter that requires removal.



Figure 21 – Existing 2<sup>nd</sup> Level Kitchen

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**PANELBOARD SCHEDULE**  
Travis County ESD NO. 8 - Pedernales Fire Station  
Panel MDP / Fed From: Voltage/Phase: 120/208 3P

Ckt	CR	Description	PH	Description	C/B	Crkt
1	1251	Panel LL	A	Panel LN	225/3	2
3			B			4
5			C			6
7	4802	Panel LR	A	Blank		8
9			B	Blank		10
11	8801	Main	A	Blank		12
13			B	Blank		14
15		Blank	C	Blank		16
17		Blank	A	Blank		18
19		Blank	B	Blank		20
21		Blank	C	Blank		22
23		Blank	A	Blank		24
25		Blank	B	Blank		26
27		Blank	C	Blank		28
29		Blank	A	Blank		30
31		Blank	B	Blank		32
33		Blank	C	Blank		34
35		Blank	A	Blank		36
37		Blank	B	Blank		38
39		Blank	C	Blank		



Figure 22 – Main Distribution Panel

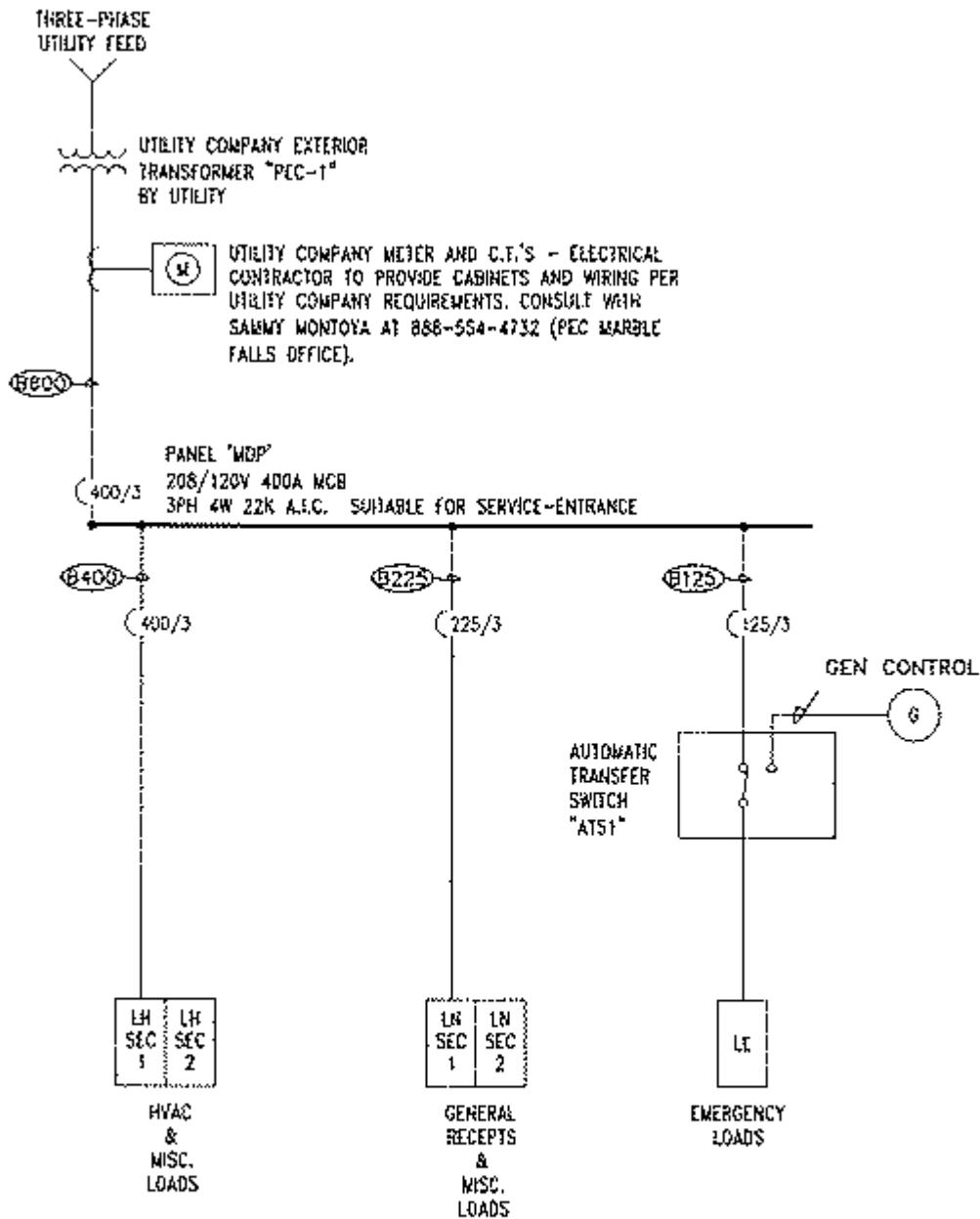
<b>ELECTRICAL LOAD ANALYSIS</b>					
BOARD MDP					
SYSTEM VOLTAGE - 208Y/120V, 3 PHASE, 4 WIRE + GND.					
LOAD DESCRIPTION	CONNECTED LOAD - KVA	DEMAND FACTOR	SEE NOTE	DEMAND LOAD	
				KVA	AMPERES
GP RECEPTACLES	58.2	0.59	1	58	70
LIGHTING	16.2	1.25	2, 3	20	24
EQUIPMENT	10.8	1.00		11	13
MOTORS	11.4	1.00		11	14
COMPUTERS	0.0	1.00		-	0
ELECTRIC HEATING	7.7	-	3	-	0
AIR CONDITIONING	138.7	1.00	3	139	167
KITCHEN EQUIPMENT	23.8	0.65	5	15	19
ELEVATORS	0.0	1.00	6	-	0
LARGEST MOTOR	0.0	1.25	7	-	0
N.E.C. DEMAND LOAD				254.8	307
PANEL CAPACITY				488.2	600.0
SPARE CAPACITY				48.9%	243.4

Figure 23 – Existing Load Calculation

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**02 ELECTRICAL ONE-LINE DIAGRAM**  
E6.1 SCALE: NO SCALE

Figure 24 – Existing Electrical Riser

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## **Introduction**

The following civil engineering schematic design narrative addresses site related issues that pertain to the proposed expansion to the Pedernales Fire Station No 8 located at 801 Bee Creek Road in Briarcliff, Texas.

## **Proposed Improvements**

The expansion consists of adding another fire truck bay to the north of the building, adding additional office area to the west side of the building on the second floor, extending the existing kitchen on the first floor to the west, and adding a new mezzanine area above the bays. A bid alternate further extends the office area to the west. The finished floor elevation will be set to match the existing building elevations.

Base bid additional impervious cover totals approximately 2,200 square feet. The additional office space bid alternate would bring the total additional impervious cover to approximately 3,000 square feet.

The expansion of the existing fire truck bays will remove the current location of the dumpster. A new location is proposed at the west end of the truck bays. This location will require a short retaining wall due to site topography.

## **Parking**

Currently, twenty-nine (29) standard parking spaces and two (2) accessible parking spaces exist on site. One (1) standard parking space will be lost with the base bid office expansion. The bid alternate office expansion eliminates one (1) standard parking space and the two (2) accessible parking spaces. Additional parking is proposed in the bid alternate to maintain the existing parking count.

## **Zoning**

The Pedernales Fire Department area is designated as BPOA-1, according to the Briarcliff code, that area leased to the Pedernales Volunteer Fire Department (BPOA-1) shall be used for Fire Department activities for the term of the lease or until those activities are discontinued.

**Water Quality**

The site is subject to the Highland Lakes Watershed Ordinance (HLWO) as regulated by the Lower Colorado River Authority (LCRA). The LCRA HLWO requires the management of stormwater runoff from development activity through the implementation of Best Management Practices (BMPs).

The existing water quality consists of three (3) vegetative filter strips. The existing vegetative filter strips will be capable of serving the proposed improvements. Based on site investigation, the existing level spreaders will need to be regraded to ensure proper discharge to the filter strips. In addition, portions of the vegetative filter strips may need to be regraded to repair rills and remove sediment.

**Utilities**

The site is served by an existing domestic water line and an on-site septic system. Domestic water to the expansion areas will be provided by extending the building plumbing lines; no improvements to the site water lines are anticipated.

We understand the septic system is not currently functioning properly. The septic system will be evaluated by a septic consultant during the design phase of the expansion to bring the system back into working order and determine what modifications will be needed, if any, to support the expansion.

**Permitting**

Building and site plans for the expansion will be reviewed by the Village of Briarcliff. The Village does not have a formal review process but has requested a courtesy copy of the site and building plans and the opportunity to look at the design prior to construction.

Travis County confirmed that due to the site's location within the Village of Briarcliff, they do not have jurisdiction for the building or site. The septic system improvements must be designed per Travis County regulations and permitted through the County.

The site is compliant with Lower Colorado River Authority regulations regarding water quality. Since the proposed additions will not impact the existing vegetative filter strips and the increase in impervious cover proposed with the project is less than 10,000 square feet, the project is below the permit threshold. LCRA will approve the project through the notification process which requires submittal of a letter with the plan set; no technical review will be required.

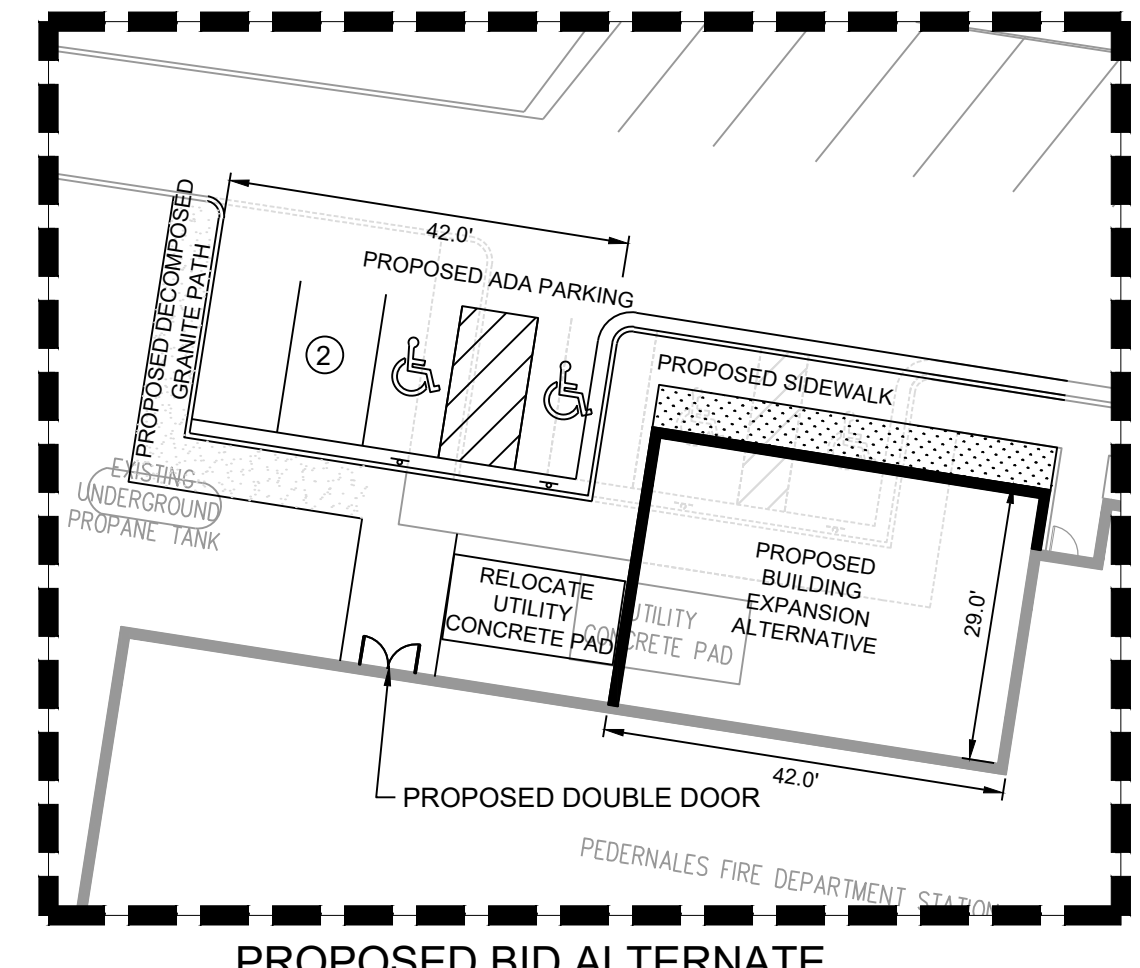
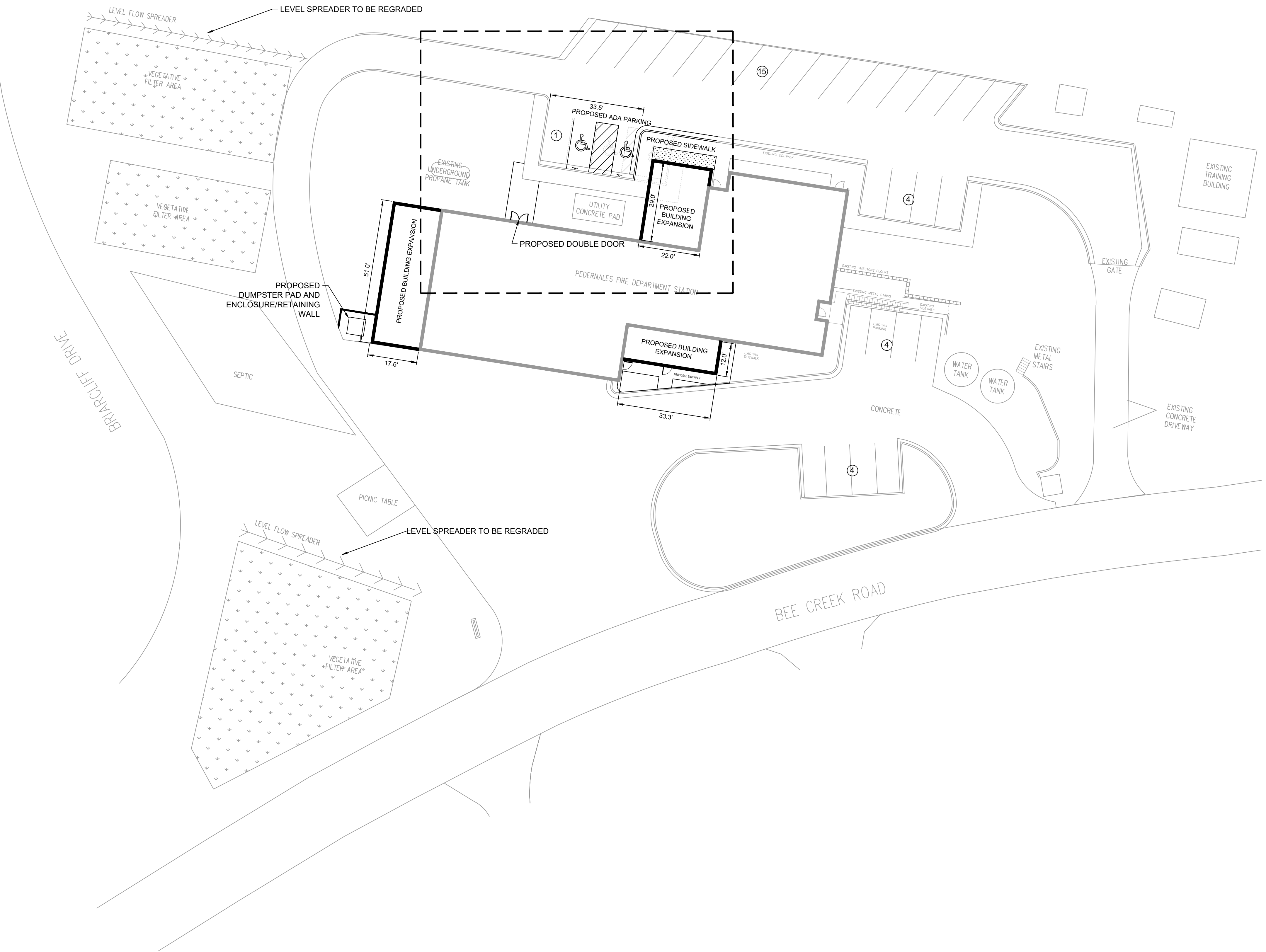
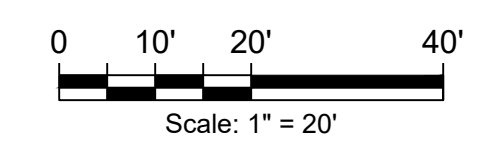


**Site Survey**

The schematic site plan is shown on a base created by Migl Engineering using archive cad files, aerial imagery, and site photos. A design survey including site improvements, trees and topography will be required prior to beginning site design.







NOTE:  
THIS SITE PLAN WAS PREPARED USING A  
COMBINATION OF EXISTING BASE FILES,  
AREAL IMAGERY AND SITE PLANS  
DATED: 09/10/2008

**MIGL ENGINEERING AND CONSULTING**  
9600 Escarpment Blvd, Suite 745-174  
Austin, TX 78749 | 512.750.0440  
Texas Registered Engineering Firm F-16967



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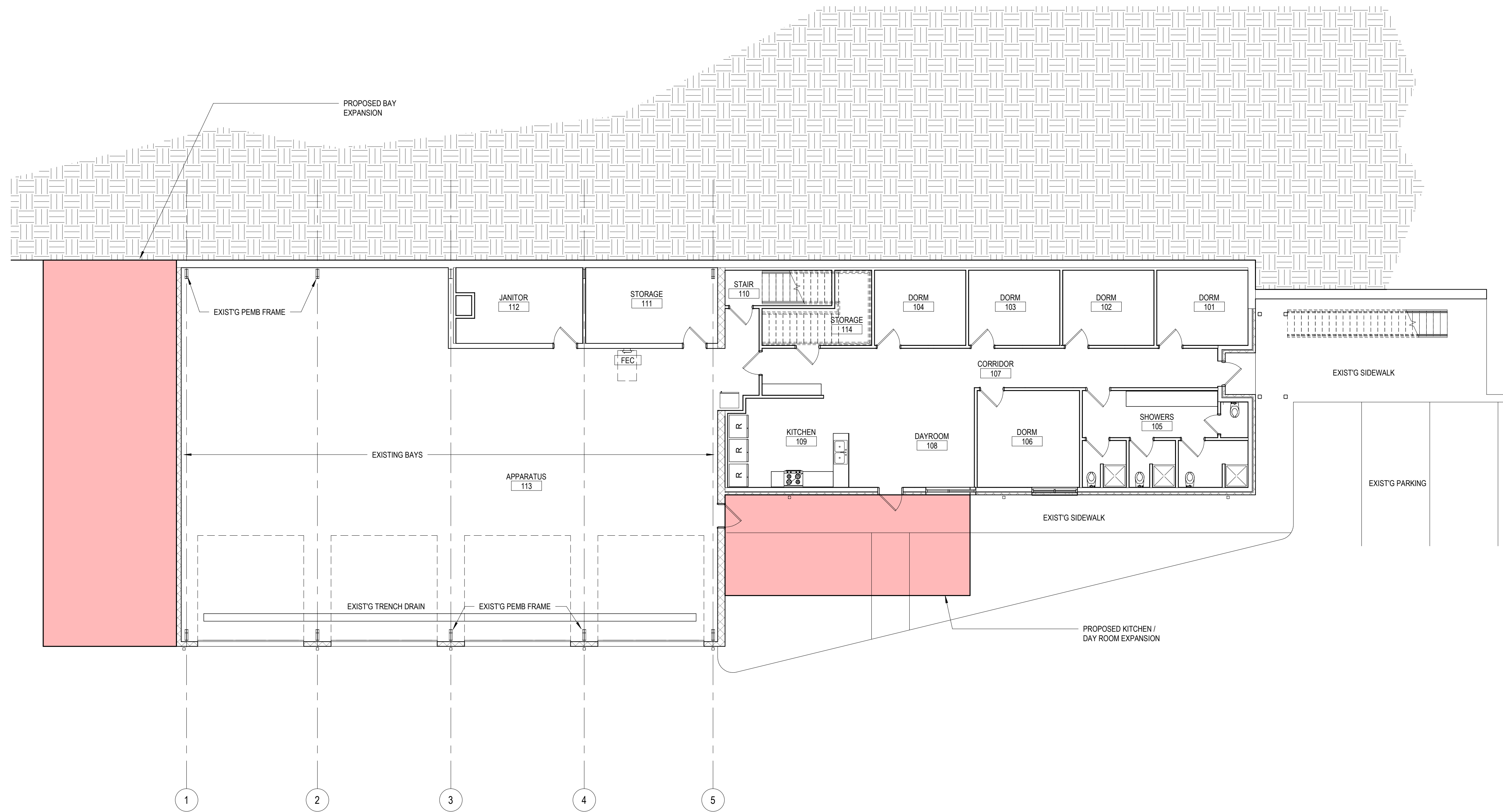
CLIENT	TRAVIS COUNTY EMERGENCY SERVICES
DISTRICT NO.	8
PROJECT	PEDERNALES FIRE DEPARTMENT FIRE STATION NO. 8 ADDITIONS
PROJECT ADDRESS	DISTRICT NO. 8 801 BEE CREEK RD BRIARCLIFF, TX. 78669

SHEET TITLE	<b>SCHEMATIC SITE PLAN</b>
PROJECT NO.	216.001
SHEET NO.	C1
	1 OF 1

DATE: 09/10/2008 11:41 AM BY: 202309101141AM 09/10/2008  
FILE: C:\Users\mstewart\OneDrive\Documents\2023\216.001\216.001\_SITELINE\_PLAN.rvt  
MST: 202309101141AM 09/10/2008  
PROJECT: 216.001  
SCALE: 1/8\"/>

# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



**1** EXISTING FLOOR PLAN - LEVEL 01  
1/8" = 1'-0" EXISTING GROSS AREA: 5,962 SF

## EXISTING FLOOR PLAN

**BUILDING CODES**

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL FUEL GAS CODE (IFGC)

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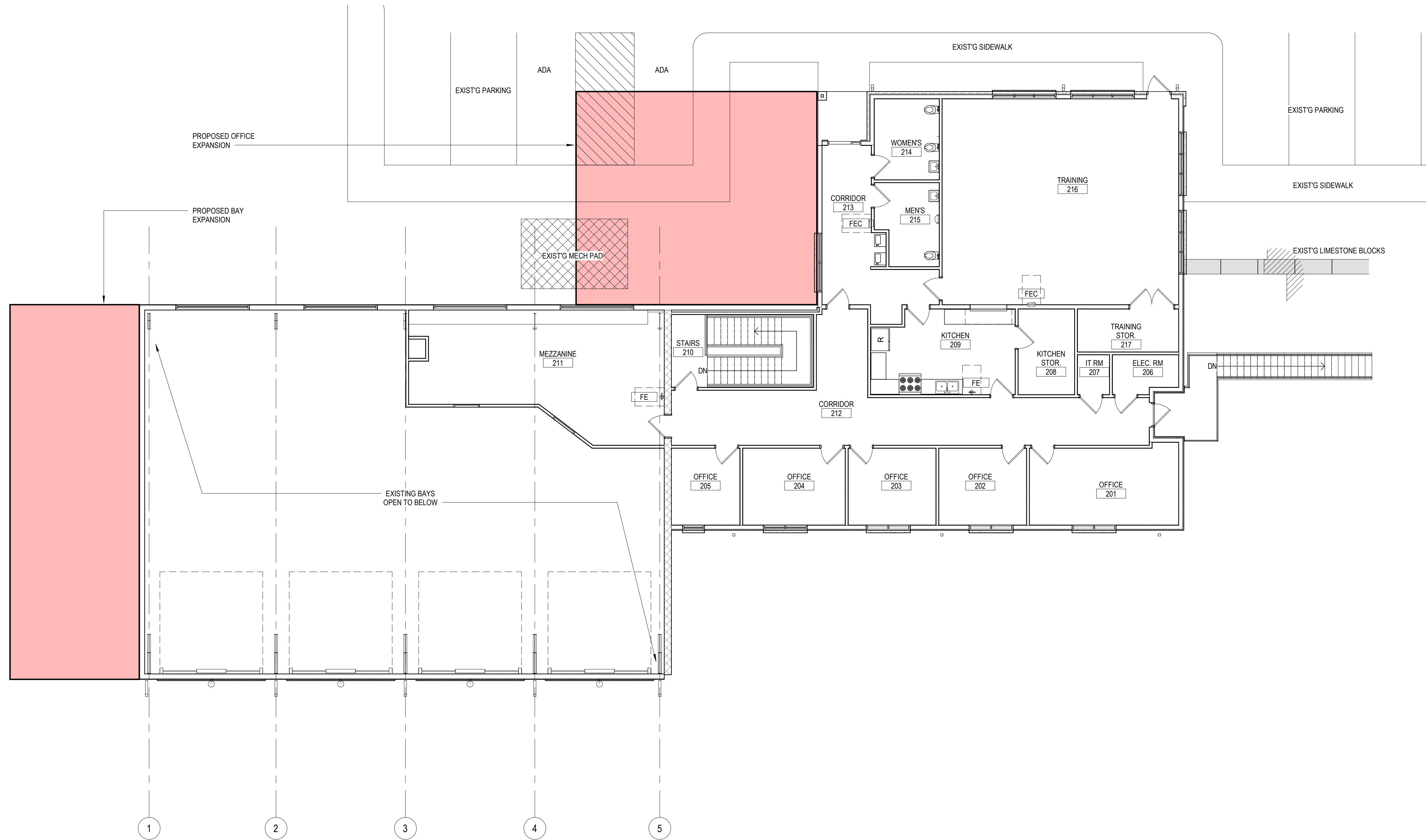
TRAVIS COUNTY  
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# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



**1** EXISTING FLOOR PLAN - LEVEL 02  
1/8" = 1'-0" EXISTING GROSS AREA: 4,142 SF

## EXISTING FLOOR PLAN

**BUILDING CODES**

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
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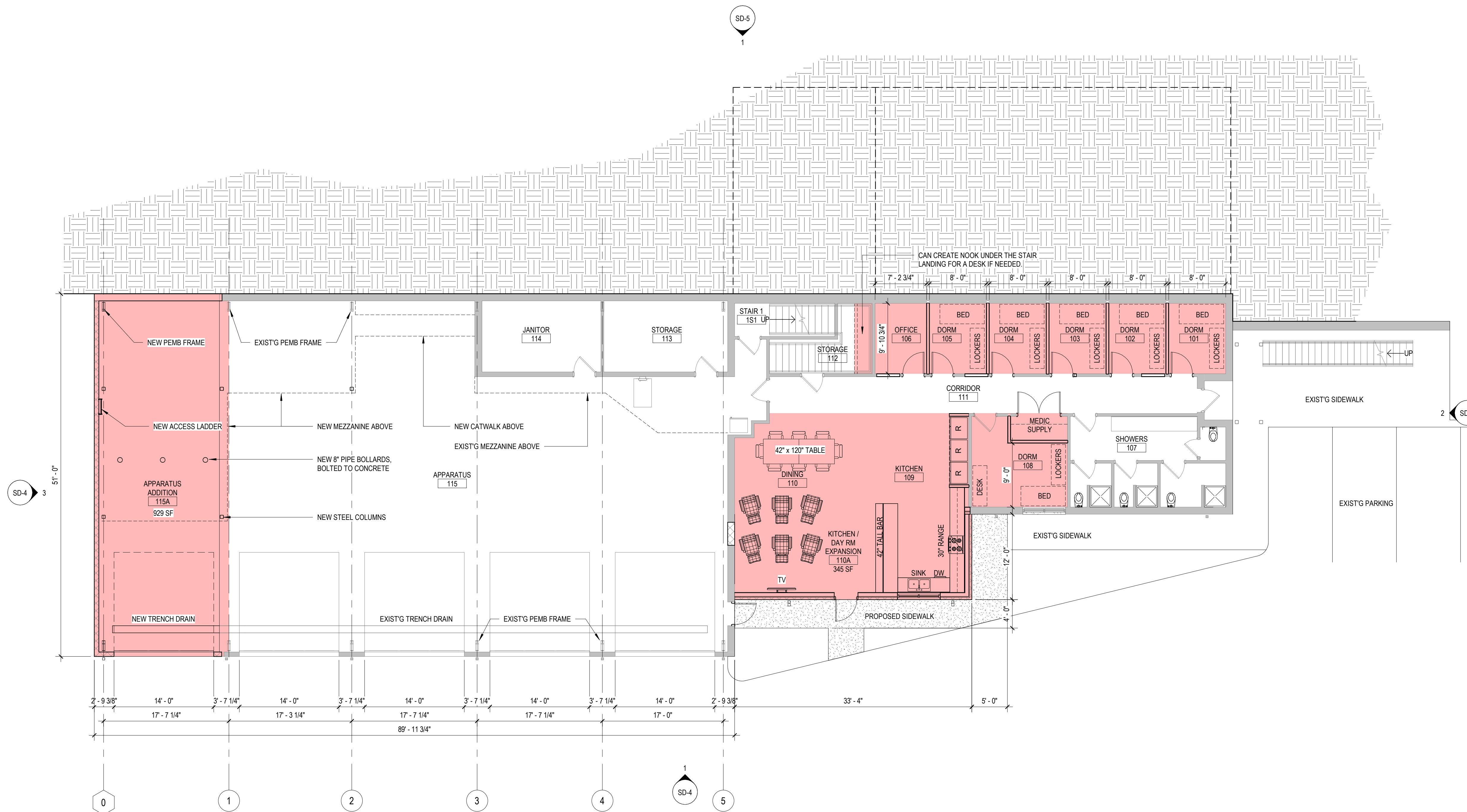
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# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



## 1 | PROPOSED FLOOR PLAN - LEVEL 01

1/8" = 1'-0"

### BUILDING CODES

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL FUEL GAS CODE (IFGC)

### FLOOR PLAN LEGEND

- EXIST'G WALL
- NEW WALL
- EXIST'G DOOR
- NEW DOOR
- PROJECT SCOPE

### GROSS AREA TABLE

EXISTING LEVEL-01:	5,862 SF
EXISTING LEVEL-02:	4,142 SF
EXISTING TOTAL:	10,004 SF
PROPOSED LEVEL-01:	7,166 SF
PROPOSED LEVEL-02:	5,667 SF
PROPOSED LEVEL-02 BID ALT.:	580 SF
PROPOSED TOTAL BID ALT.:	13,413 SF

# PROPOSED FLOOR PLAN - BASE BID

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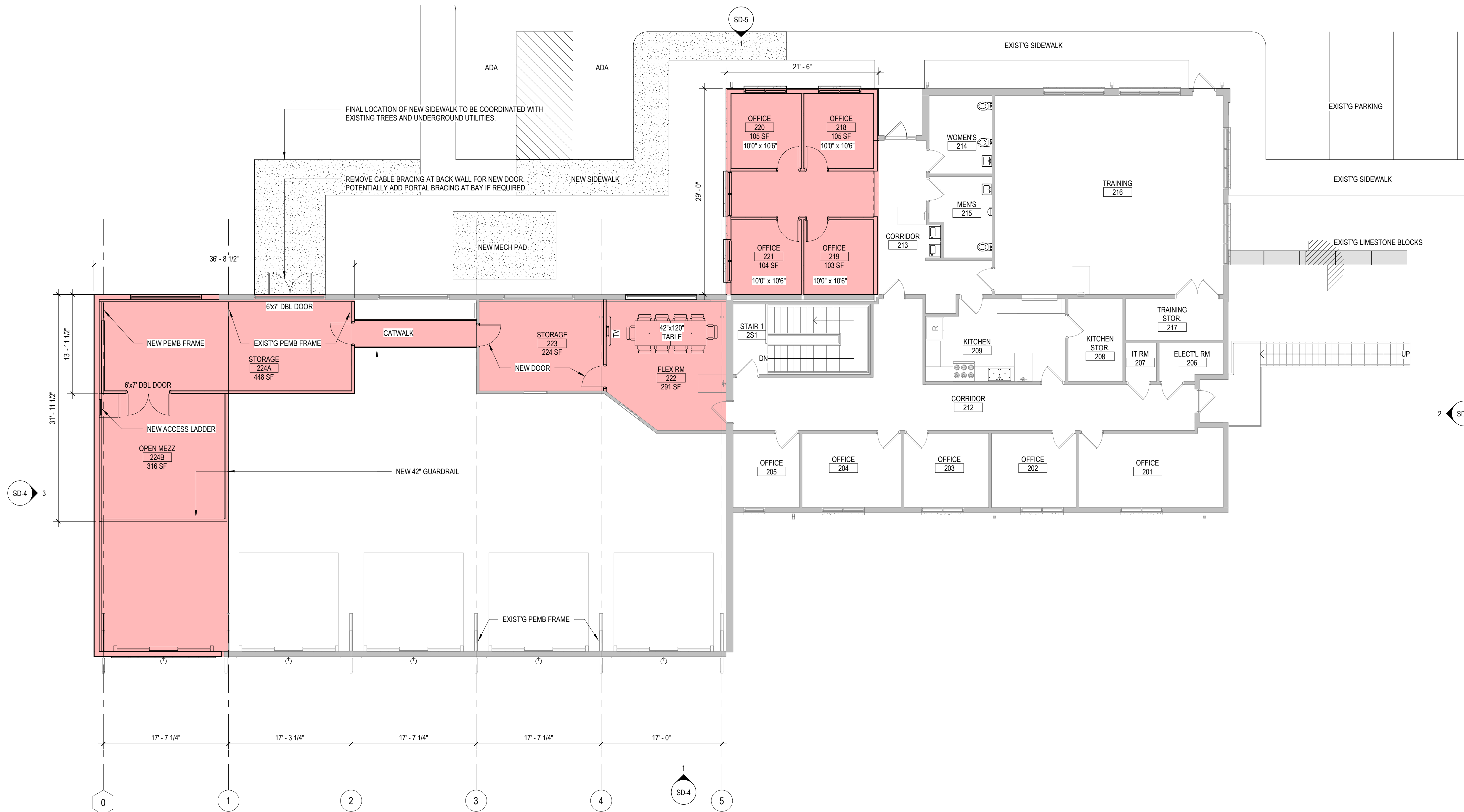
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# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



## 1 PROPOSED FLOOR PLAN - LEVEL 02

1/8" = 1'-0"

### BUILDING CODES

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL FUEL GAS CODE (IFGC)

### FLOOR PLAN LEGEND

- EXIST'G WALL
- NEW WALL
- EXIST'G DOOR
- NEW DOOR
- PROJECT SCOPE

### GROSS AREA TABLE

EXISTING LEVEL-01:	5,862 SF
EXISTING LEVEL-02:	4,142 SF
<b>EXISTING TOTAL:</b>	<b>10,004 SF</b>
PROPOSED LEVEL-01:	7,166 SF
PROPOSED LEVEL-02:	5,667 SF
<b>PROPOSED LEVEL-02 BID ALT.:</b>	<b>580 SF</b>
<b>PROPOSED TOTAL:</b>	<b>13,413 SF</b>

# PROPOSED FLOOR PLAN - BASE BID

NOT FOR CONSTRUCTION  
FOR REVIEW ONLY.

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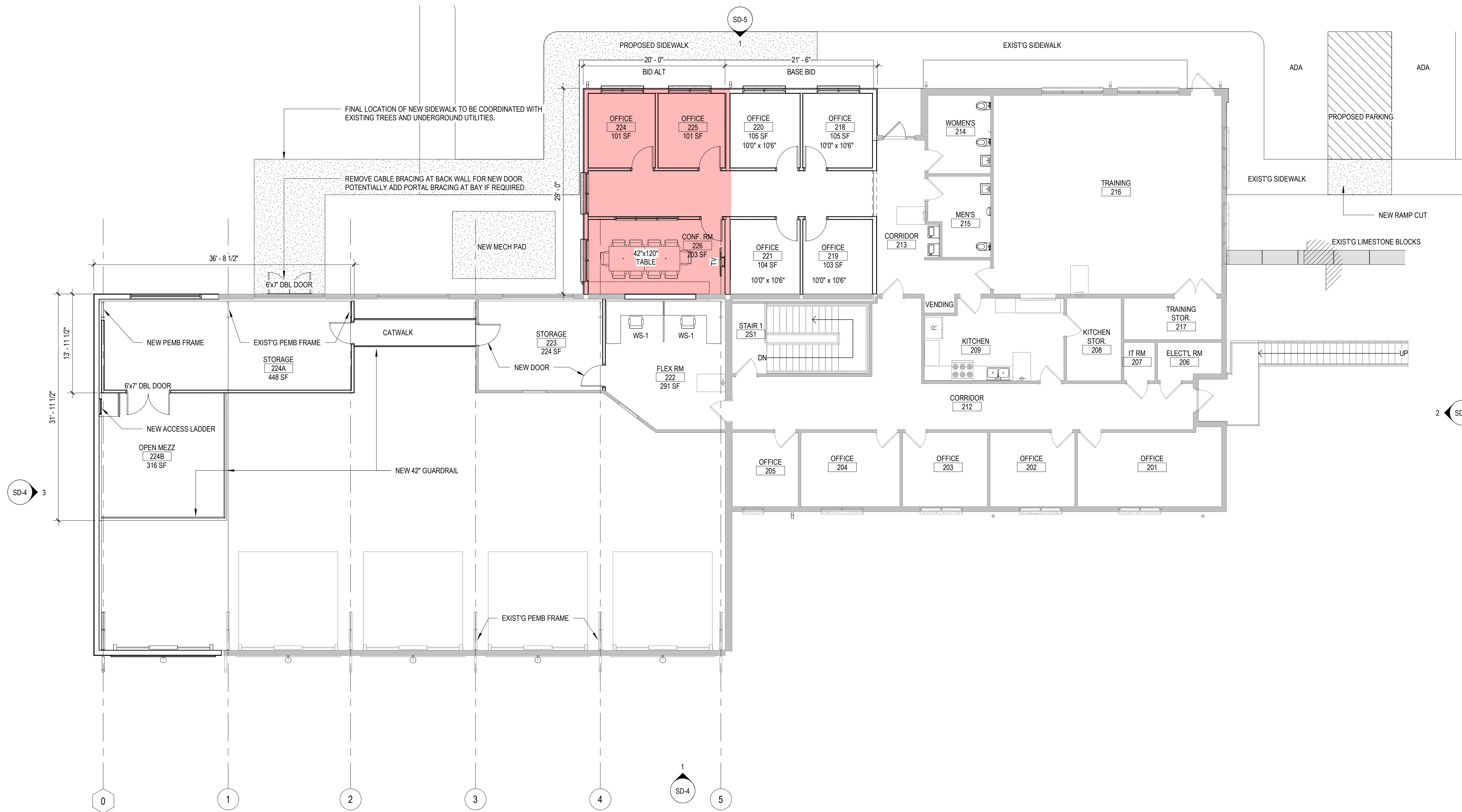
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# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



## 1 | PROPOSED FLOOR PLAN - LEVEL 02 (BID ALT.)

1/8" = 1'-0"

### BUILDING CODES

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- 2015 INTERNATIONAL FUEL GAS CODE (IFGC)

### FLOOR PLAN LEGEND

- EXIST'G WALL
- NEW WALL
- EXIST'G DOOR
- NEW DOOR
- PROJECT SCOPE

### GROSS AREA TABLE

EXISTING LEVEL-01:	5,862 SF
EXISTING LEVEL-02:	4,142 SF
<b>EXISTING TOTAL:</b>	<b>10,004 SF</b>
PROPOSED LEVEL-01:	7,166 SF
PROPOSED LEVEL-02:	5,667 SF
<b>PROPOSED LEVEL-02 BID ALT.:</b>	<b>580 SF</b>
<b>PROPOSED TOTAL:</b>	<b>13,413 SF</b>

# PROPOSED FLOOR PLAN - BID ALT.

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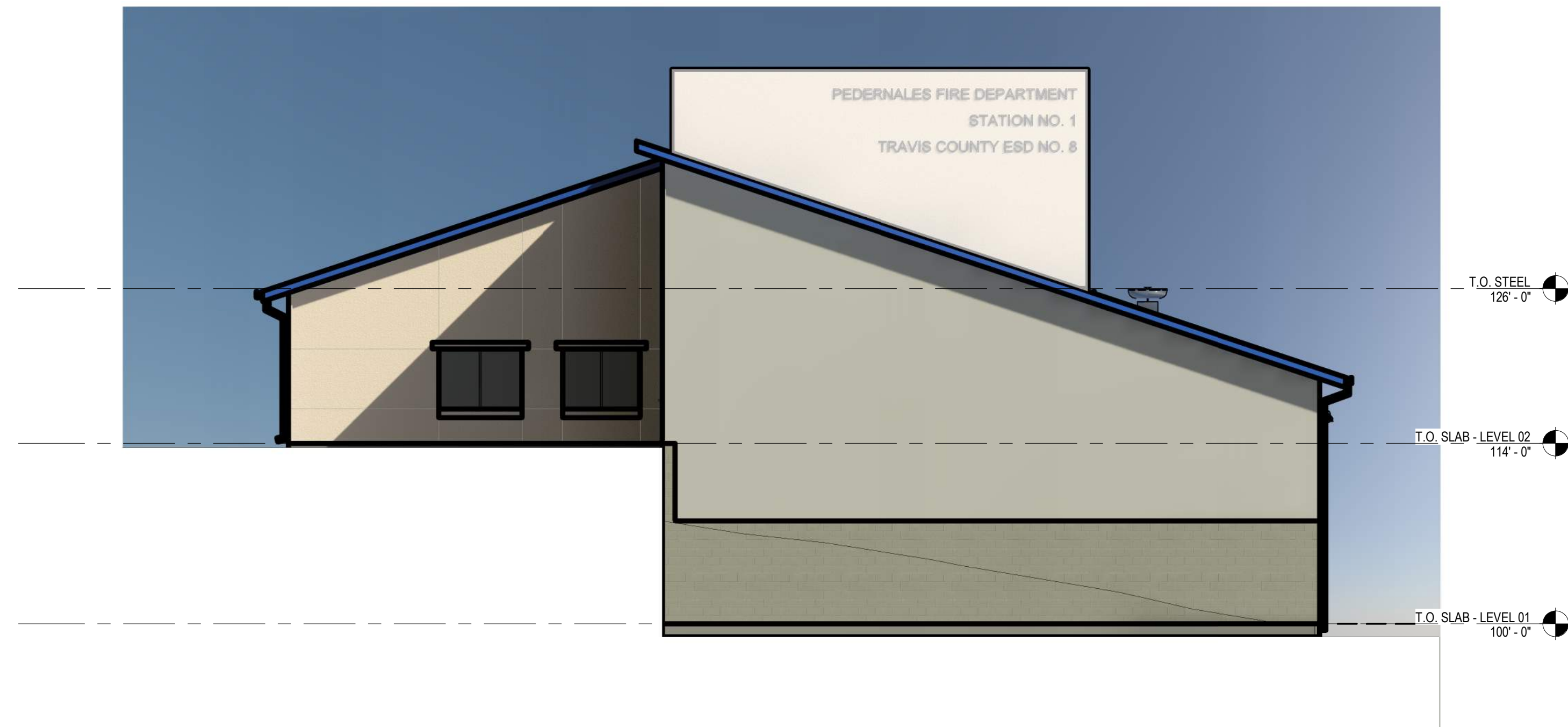
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# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



**3** BUILDING ELEVATION - LEFT  
1/8" = 1'-0"



**2** BUILDING ELEVATION - RIGHT  
1/8" = 1'-0"



**1** BUILDING ELEVATION - FRONT  
1/8" = 1'-0"

## BLDG ELEVATIONS

### GROSS AREA TABLE

EXISTING LEVEL-01:	5,862 SF
EXISTING LEVEL-02:	4,142 SF
EXISTING TOTAL:	10,004 SF
PROPOSED LEVEL-01:	7,166 SF
PROPOSED LEVEL-02:	5,867 SF
PROPOSED LEVEL-02 BID ALT.:	580 SF
PROPOSED TOTAL:	13,413 SF

### BUILDING CODES

2015	INTERNATIONAL BUILDING CODE (IBC)
2015	INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2014	NATIONAL ELECTRICAL CODE (NEC)
2015	INTERNATIONAL PLUMBING CODE (IPC)
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# PEDERNALES FIRE STATION #801

801 BEE CREEK RD  
BRIARCLIFF, TX 78669



3 | NE EXTERIOR VIEW



2 | SW EXTERIOR VIEW



1 | BUILDING ELEVATION - BACK  
1/8" = 1'-0"

## BLDG ELEVATIONS

### GROSS AREA TABLE

EXISTING LEVEL-01:	5,862 SF
EXISTING LEVEL-02:	4,142 SF
EXISTING TOTAL:	10,004 SF
PROPOSED LEVEL-01:	7,166 SF
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**EXHIBIT E**  
**ALLOWABLE GENERAL CONDITION COSTS**

**Project Management Personnel**

Superintendent  
Field Office Manager  
Assistant Superintendent  
Field Office Support Staff  
Project Management  
Field Engineering  
Safety Manager & Safety Consultant

**Bonds, Insurance and Payroll Taxes**

All risk builder's Risk Insurance  
General / Excess liability Insurance  
Gen. Contr. Performance & Payment Bonds  
Owner's & Contractor's Protective Liability Insurance  
Payroll Taxes & Payroll Benefit Cost  
Workmen's Compensation Insurance  
Auto Insurance

**Temporary Utilities and Services**

Monthly Utility Cost (Water & Electricity)  
Temporary Toilets (2 units)  
Dumpster  
Temp. HVAC / Electrical (for Testing)  
Temporary Telephone System  
Site Erosion Control  
Temporary Construction Fencing / Barricades  
Access Roads  
Parking Areas  
Traffic Control  
Project Scheduling Services  
Security Equip., Systems & Personnel

**Field Office & Construction Supplies**

Field Engineering Equipment & Supplies  
Field Project Office  
Safety Equipment  
Office Furniture  
Office Supplies  
Office Equipment  
Postal / Special Shipping / Delivery Service  
Reproduction Services  
Copy & Fax Machines and Supplies  
Personal Computer Rental

Small Tools and Consumables  
Storage Trailers  
Progress Photos (Digital)  
First Aid Supplies  
Project Signage  
Contract Closeout  
Drinking Water & Accessories

**Construction Equipment & Miscellaneous**

Crane Rental  
Construction Cleanup (Interim Cleanup)  
Final Cleanup  
Office Cleanup / Janitorial Services  
Mock-ups  
ABC Fees  
Building Permit Fees  
Vehicle Rental & Maintenance  
Jobsite Radio / Communication Equipment